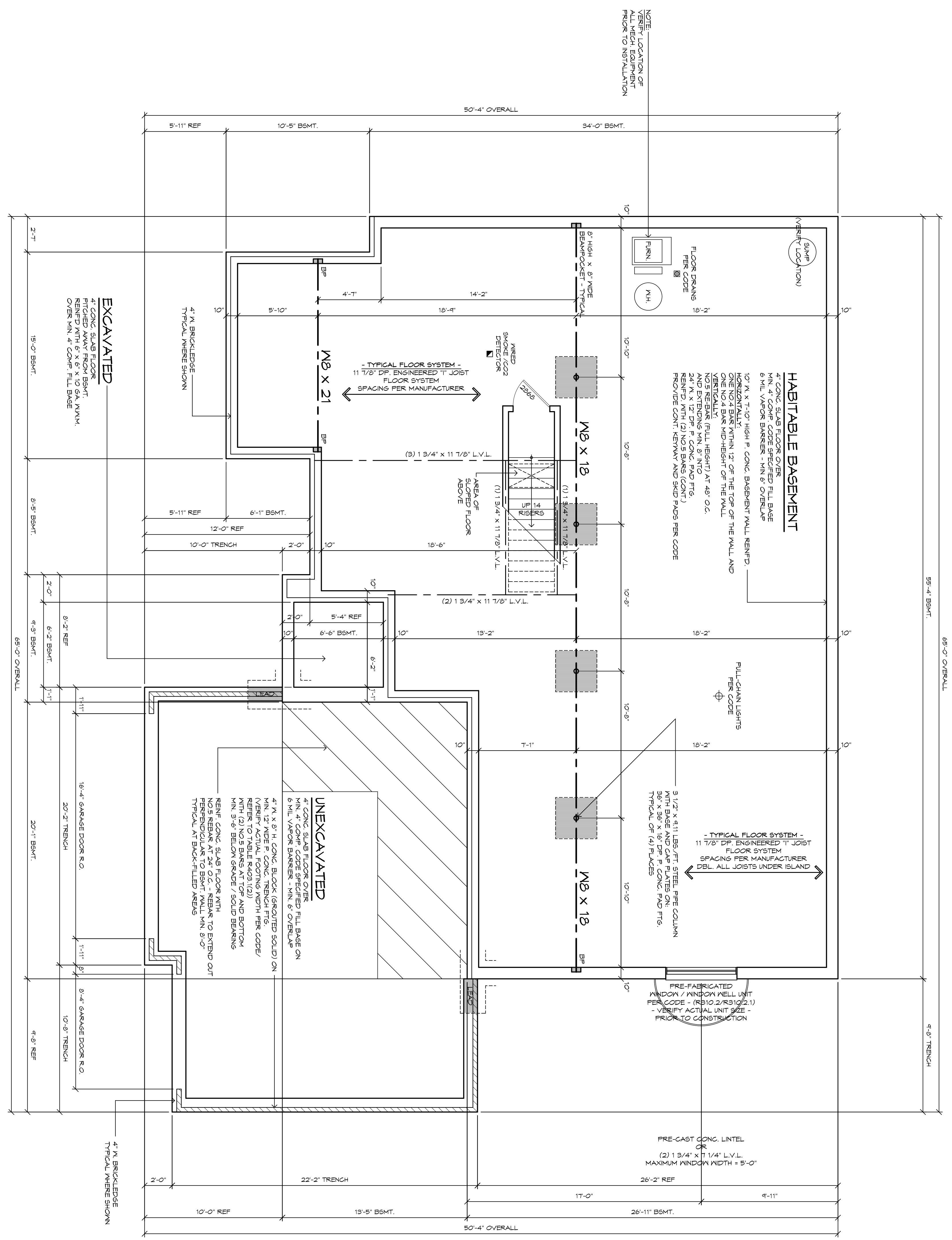


# BASEMENT / FOUNDATION PLAN

1/4" = 1'-0"



NOTE: IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE RA01.4.1 SHALL BE ASSUMED

TABLE RA01.4.1  
 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIAL	LOAD-BEARING PRESSURE (PSF) (PER SQ FT)	LOAD-BEARING PRESSURE (KIP/FT) (PER SQ FT)
CRYSTALLINE BEDROCK	12,000	4,000
SEDIMENTARY AND FOLIATED ROCK	3,000	1,000
SANDY GRAVEL and/or GRAVEL (GM and GF)	2,000	600
SAND SILTY SAND CLAYEY SAND SILTY GRAVEL and CLAYEY GRAVEL (SM, SP, SW, GW, and GC)	1,500	500
CLAY SANDY CLAY SILTY CLAY CLAYEY SILT (OH, MH, SH, CH)	1,500	500

MINIMUM WIDTH OF CONCRETE OR MASONRY FOOTINGS (INCHES)

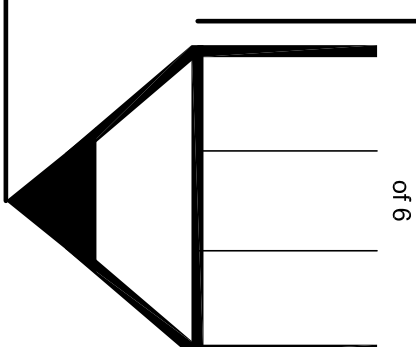
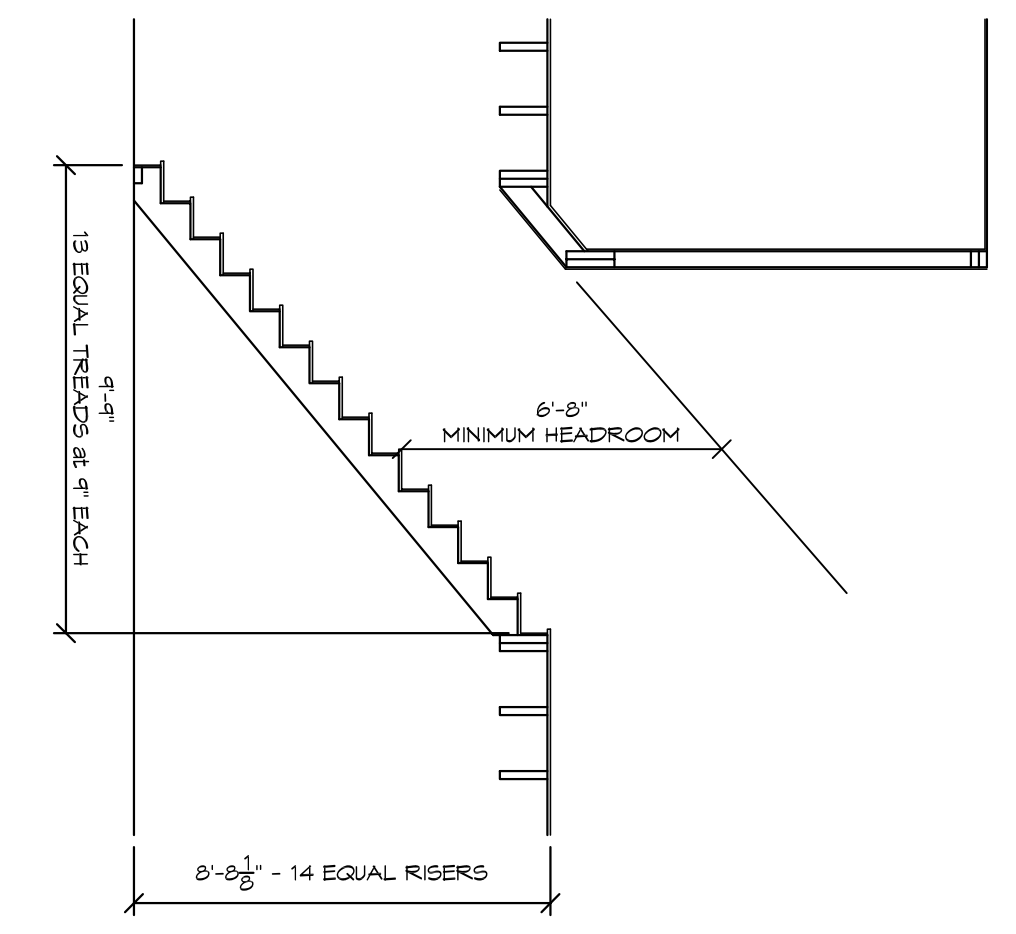
(PSF)	1,500	2,000	3,000	4,000
CONVENTIONAL LIGHT-FRAME CONSTRUCTION	12	12	12	12
1-STORY	12	12	12	12
2-STORY	15	12	12	12
3-STORY	25	17	12	12
4-INCH BRICK VENEER OVER LIGHT FRAME OR 8-INCH HOLLOW CONCRETE MASONRY	12	12	12	12
1-STORY	12	12	12	12
2-STORY	21	16	12	12
3-STORY	32	24	16	12
8-INCH SOLID OR FULLY GRouted MASONRY	16	12	12	12
1-STORY	29	21	14	12
2-STORY	42	32	21	16

**NOTE:** PRECAST CONG. WALLS SHALL BE VIBRATED IN MAX. 30" LIFTS DURING THE POURING OPERATION IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE

**NOTE:** FURRED WALL CONTRACTOR TO PROVIDE FOR A 30'-0" LONG (1/2" DIA. - NO. 4 REBAR) ROD FROM THE REBAR TO THE REBAR WALL NEAR ELECTRICAL SERVICE LOCATION FOR GROUNDING OF ELECTRICAL SERVICE. REBAR SHALL BE BELONGED TO THE GRADE AND APPROX. 24" EXPOSED OUTSIDE OF CONG. WALL. FINAL LOCATION TO BE DETERMINED IN FIELD BY BUILDER.

## STAIR SECTION

1/4" = 1'-0"



copyright 2017  
 all rights reserved  
 the drawing room

project:  
**The Preserves - Lot 41 - Lindsay Ranch**  
 St. Clair Township, Michigan

client:  
**Pine Properties**  
 44701 North Gratiot Ave - Clinton Township, Michigan 48036

drawn by:  
 GSK  
 checked by:  
 GOD  
 sheet no:  
**1**

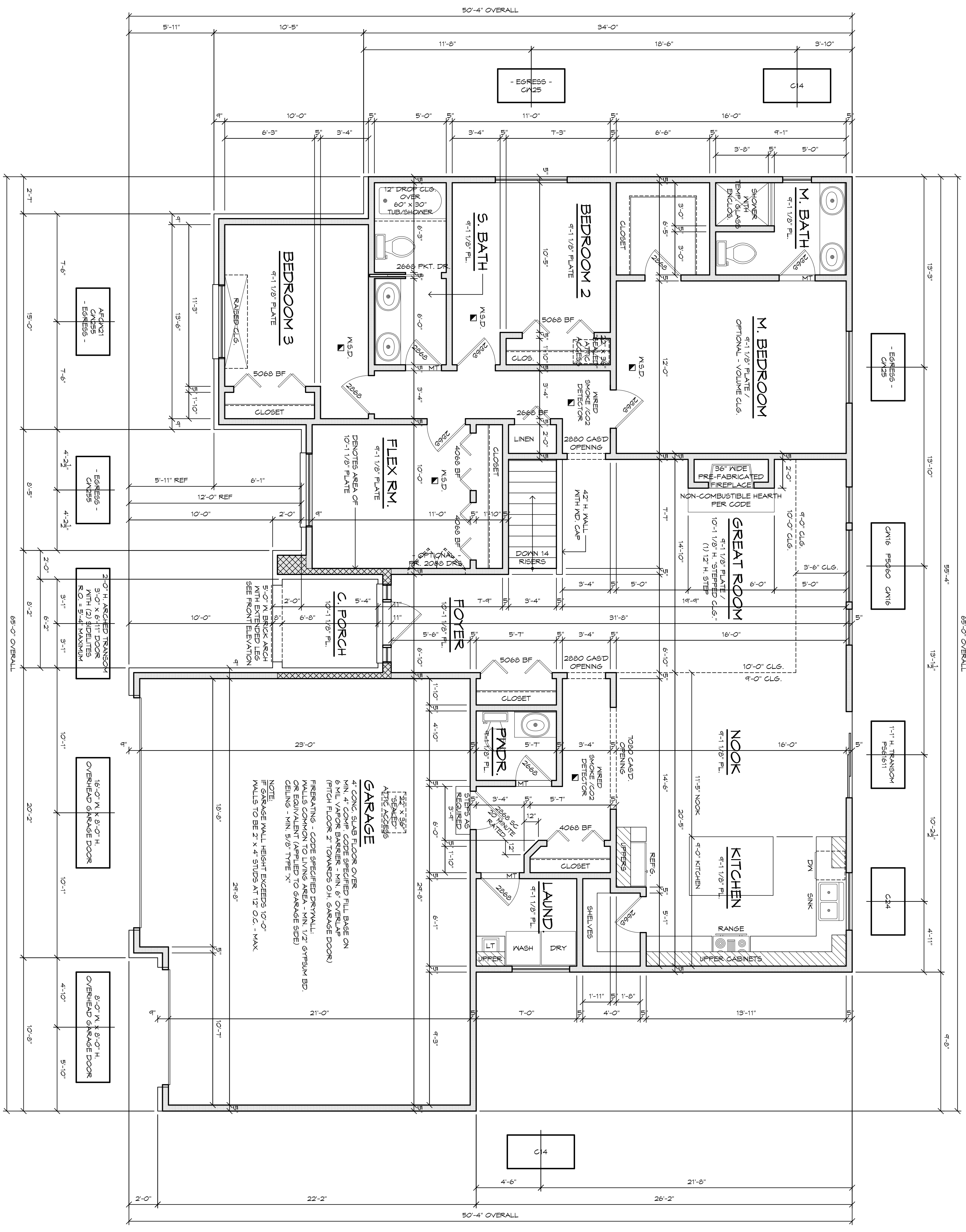
issued:  
 05 June 2017 - BHS  
 12 June 2017 - Revised

job no:  
 TDR-17018

Redline  
 Bids  
 Permits  
 Construction

THE DRAWING ROOM  
 custom residential design services  
 7287 Frampton W. Washington, MI. 48095  
 off: (586) 306-0899 email:

All material contained in these drawings is the expressed property of THE DRAWING ROOM and shall not be used or reproduced in any form without written consent of The Drawing Room



FIRST FLOOR: 1935 SQ. FT.  
 FINISHED: 1740 SQ. FT.  
 RANDOM SIZES PER "ANDRESEN"  
**FIRST FLOOR PLAN**  
 NOTE: CABINET LAY-OUT SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY.  
 VERIFY ACTUAL CABINET LAY-OUT WITH BUILDER.

1/4" = 1'-0"

**REQUIRED AREAS FOR TEMPERED GLASS**

1. GLAZING GLASS PANELS OF EXPOSED TYPICAL ROOMS.
2. GLAZING GLASS PANELS IN BATHS AND BULLDOGS (OTHERWISE NOTED).
3. EDGE GLASS SHALL BE ABOVE THE FINISHED FLOOR LEVEL.
4. ALL OTHER GLASS SHALL BE 1/2" CODE.

**CONSTRUCTION**

1. ALL WALLS 10'-0" OR HIGHER SHALL BE BUILT IN ACCORDANCE TO 2015 MICHIGAN RESIDENTIAL CODE / TABLE 602.3(1).
2.  INDICATES LOCATION OF SOLID BLOCKING TO DIRECT BEARING BELOW (2) 2" X 10" HEADER OR LESS 1 MIN. (2) JACK STUDS AT EACH END (2) 2" X 12" HEADER OR GREATER 1 MIN. (3) JACK STUDS AT EACH END

**MICHIGAN UNIFORM ENERGY CODE**

1. SEE HEATING PLANS FOR FINISH SPECIFICATIONS.
2. AIR RESISTANCE SHALL BE 1/10 AIR PERMEANCE TO THE 2015 U.E.C. / SECTION 402.4
3. SEE HEATING PLANS FOR FINISH SPECIFICATIONS.
4. SEAL ALL ACCESS HOLES PER THE 2015 U.E.C. / SECTION 402.2.3

**MISCELLANEOUS**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 MICHIGAN RESIDENTIAL CODE.

**WINDOW / EGRESS WINDOW REQUIREMENTS**

1. MIN. NET CLEAR OPENING - 5'7" SQ. FT. - (ANY LOCATION)  
 2. MIN. NET CLEAR OPENING - 5'0" SQ. FT. - (GARAGE FLOOR WINDOW ONLY)  
 3. MIN. NET CLEAR WIDTH - 20"  
 4. MIN. NET CLEAR HEIGHT - 20"  
 5. HANDBUILT SILL HEIGHT - 44"
1. MIN. NET CLEAR OPENING - 5'7" SQ. FT. - (ANY LOCATION)  
 2. MIN. NET CLEAR OPENING - 5'0" SQ. FT. - (GARAGE FLOOR WINDOW ONLY)  
 3. MIN. NET CLEAR WIDTH - 20"  
 4. MIN. NET CLEAR HEIGHT - 20"  
 5. HANDBUILT SILL HEIGHT - 44"

**HANDRAILS / GUARDRAILS**

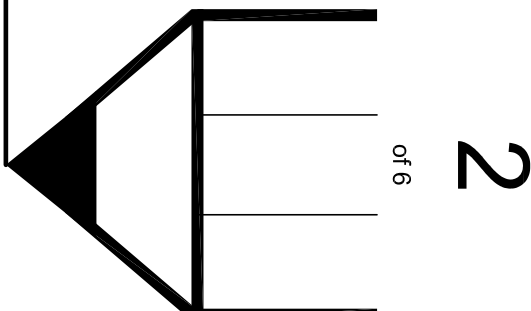
1. HANDBUILT HEIGHT - 34" MINIMUM - 34" MAXIMUM
2. HANDBUILT HEIGHT OF HANDBUILT TO HAVE CIRCULAR CROSS-SECTION
3. OR 1 1/2 INCHES MINIMUM TO 2 1/2 INCHES MAXIMUM
4. HANDBUILT SHALL BE 30 INCHES ABOVE FINISHED FLOOR OR GARAGE FLOOR
5. HANDBUILT SHALL BE 30 INCHES ABOVE FINISHED FLOOR OR GARAGE FLOOR
6. BALUSTERS SHALL BE SPACED LESS THAN 4" APART
7. HANDBUILT SHALL BE 30 INCHES ABOVE FINISHED FLOOR OR GARAGE FLOOR
8. HANDBUILT SHALL BE 30 INCHES ABOVE FINISHED FLOOR OR GARAGE FLOOR
9. HANDBUILT SHALL BE 30 INCHES ABOVE FINISHED FLOOR OR GARAGE FLOOR
10. HANDBUILT SHALL BE 30 INCHES ABOVE FINISHED FLOOR OR GARAGE FLOOR

copyright 2017  
 all rights reserved  
 the drawing room

Preliminary  
 Site  
 Permits  
 Construction  
 Other

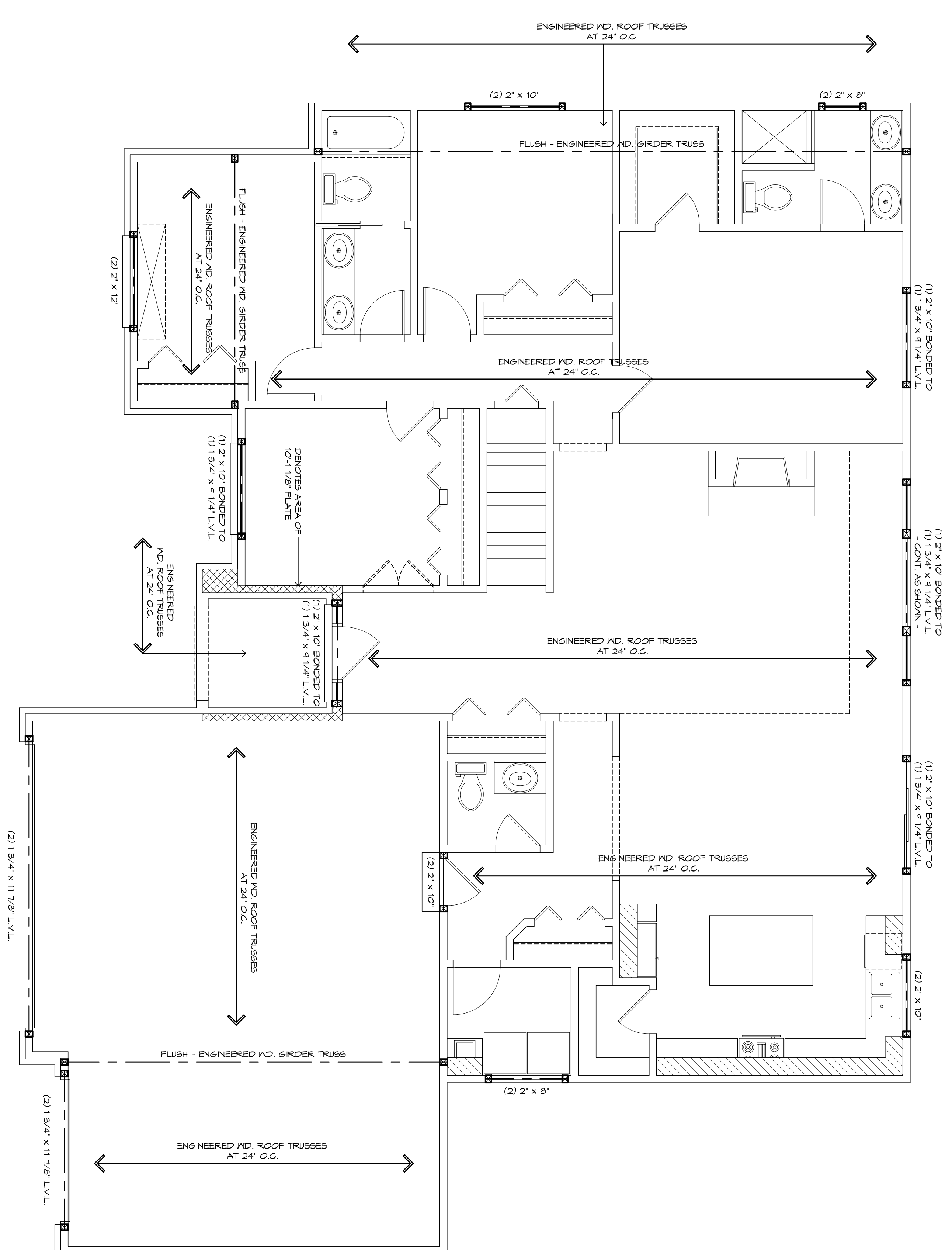
Drawn By: [Name]  
 Checked By: [Name]  
 Issued By: [Name]  
 Date: 05 June 2017 - Bids  
 Date: 12 June 2017 - Revised

Job No: TDR-17018  
 Sheet No: 2 of 6



All material contained in these drawings is the expressed property of The Drawing Room and shall not be used or reproduced in any form without written consent of The Drawing Room.

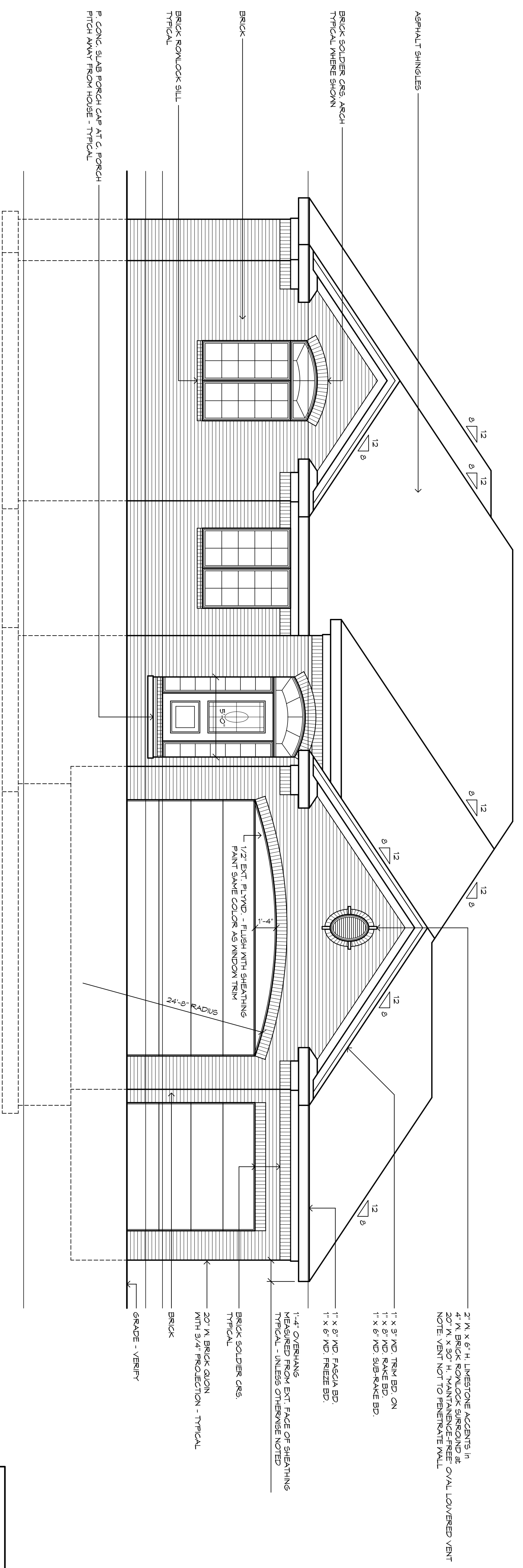
Off: (586) 306-0899  
 email: [Email]  
 7287 Hampton W.  
 Washington, MI.  
 48095



INDICATES LOCATION OF SOLID BLOCKING TO BEARING BELOW  
 BLOCKING SIZE AS FOLLOWS:  
 (1) 2" X 10" HEADER OR LESSER MIN. (2) JACK STUDS AT EACH END  
 (3) 2" X 10" HEADER OR LESSER MIN. (4) JACK STUDS AT EACH END  
 TYPICAL UNLESS OTHERWISE NOTED

**FIRST FLOOR STRUCTURAL LAYOUT**

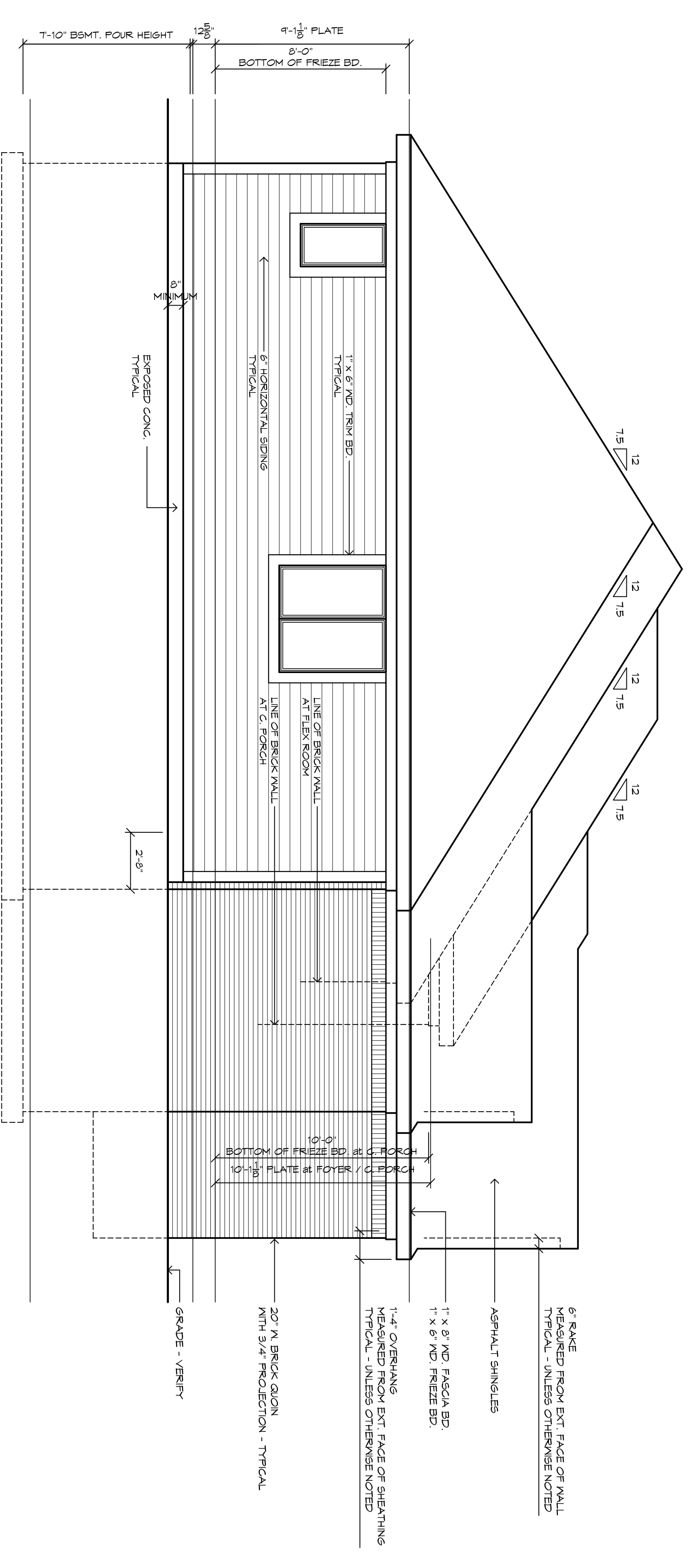
1/4" = 1'-0"



**FRONT ELEVATION**

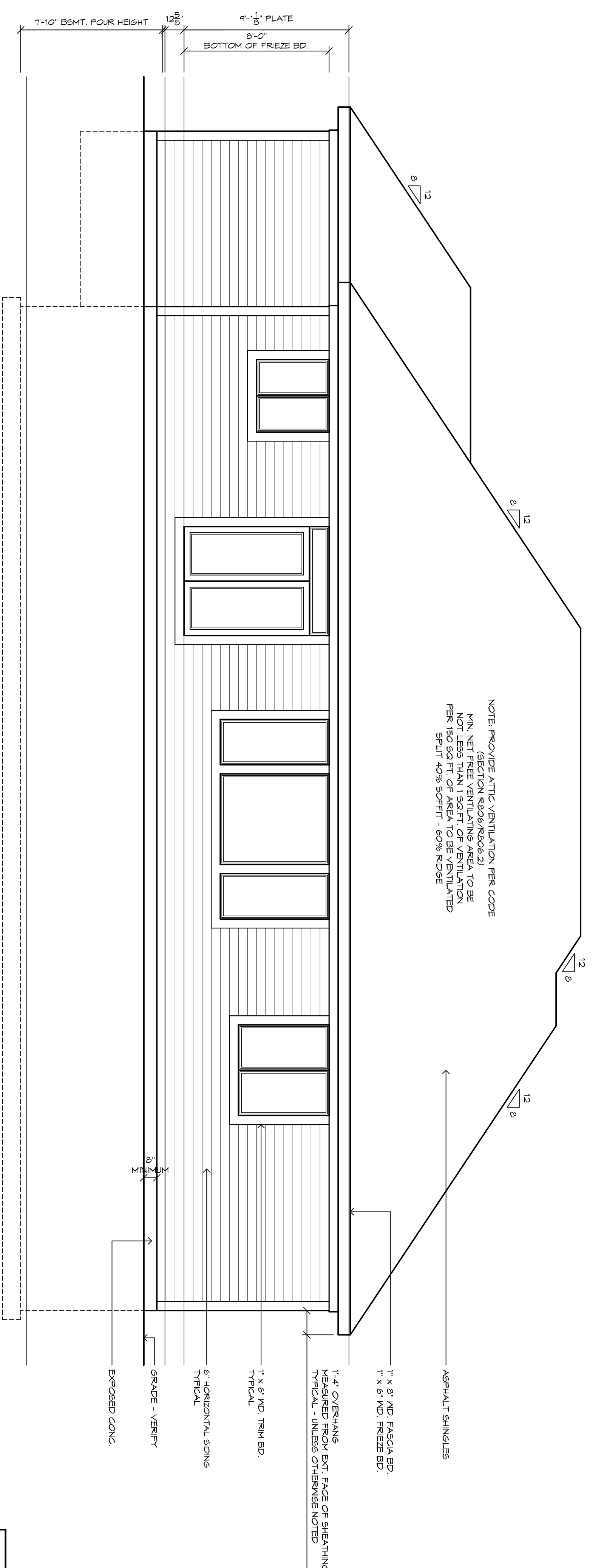
1/4" = 1'-0"

ROOF VENTILATION CALCULATIONS	
<b>PROPOSED VENTED AREA:</b>	
VENT AREA RATIO: 1 to 150	
ATTIC AREA = 2780 SQ.FT. (1/150)	
VENT AREA = 18.40 SQ.FT. X 144 = 2649.60 SQ.IN.	
40% SOFFIT = 1069.84 SQ.IN. - 60% RIDGE = 1588.76 SQ.IN.	
<b>VENTED AREA REQUIRED - SOFFIT = 1069.84 SQ.IN.</b>	
CONTINUOUS SOFFIT TYPE = 6800 SQ.IN. PER FT. = 16 LIN.FT.	
LOUVER TYPE - 8" X 18" = 65.00 SQ.IN. EACH = 17 UNITS	
<b>VENTED AREA REQUIRED - RIDGE = 1588.76 SQ.IN.</b>	
CONTINUOUS RIDGE TYPE = 12228 SQ.IN. PER FT. = 130 LIN.FT.	
LOUVERED ROOF TYPE = 5000 SQ.IN. EACH = 32 UNITS	



**LEFT SIDE ELEVATION**

1/4" = 1'-0"

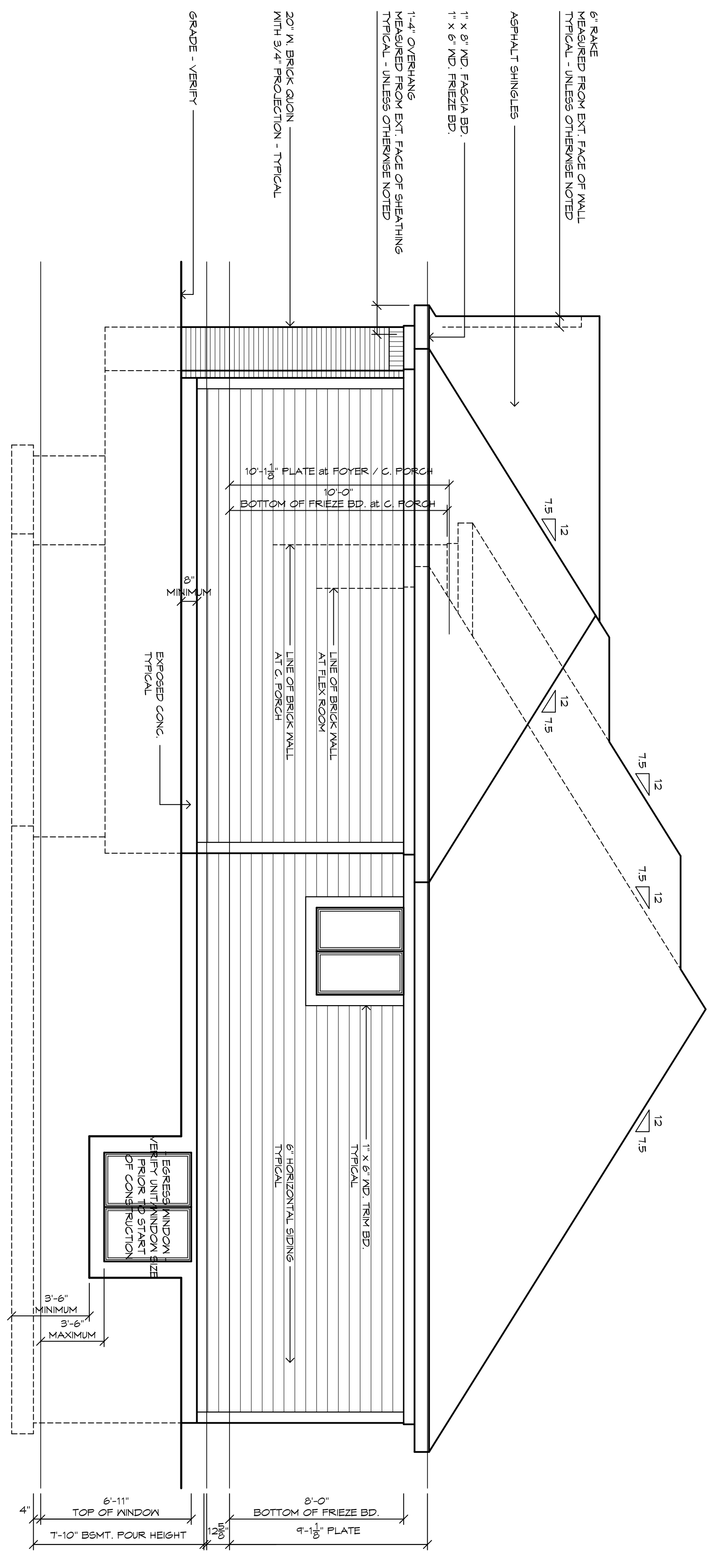


NOTE: PROVIDE ATTIC VENTILATION PER CODE  
 MIN. NET FREE AREA PER SQ. FT. OF ROOF AREA TO BE VENTILATED  
 PER 150 SQ. FT. OF AREA TO BE VENTILATED  
 SPLIT: 40% SOFFIT - 60% RIDGE

**REAR ELEVATION**

1/4" = 1'-0"

ROOF VENTILATION CALCULATIONS	
<b>PROPOSED VENTED AREA</b>	
VENT AREA RATIO: 1 to 150	
ATTIC AREA = 2780 SQ.FT. (1/150)	
VENT AREA = 18,400 SQ.FT. x 144 = 2,659,200 SQ.IN.	
40% SOFFIT = 1,059,840 SQ.IN. - 60% RIDGE = 1,598,736 SQ.IN.	
<b>VENTED AREA REQUIRED - SOFFIT = 1,059,840 SQ.IN.</b>	
CONTINUOUS SOFFIT TYPE = 68,000 SQ.IN. PER FT. = 16 LIN.FT.	
LOUVER TYPE - 8" x 16" = 68,000 SQ.IN. EACH = 17 UNITS	
<b>VENTED AREA REQUIRED - RIDGE = 1,598,736 SQ.IN.</b>	
CONTINUOUS RIDGE TYPE = 12,228 SQ.IN. PER FT. = 130 LIN.FT.	
LOUVERED ROOF TYPE = 50,000 SQ.IN. EACH = 32 UNITS	



**RIGHT SIDE ELEVATION**

1/4" = 1'-0"

All material contained in these drawings is the expressed property of The Drawing Room and shall not be copied, reproduced or otherwise used in any form without written consent of The Drawing Room

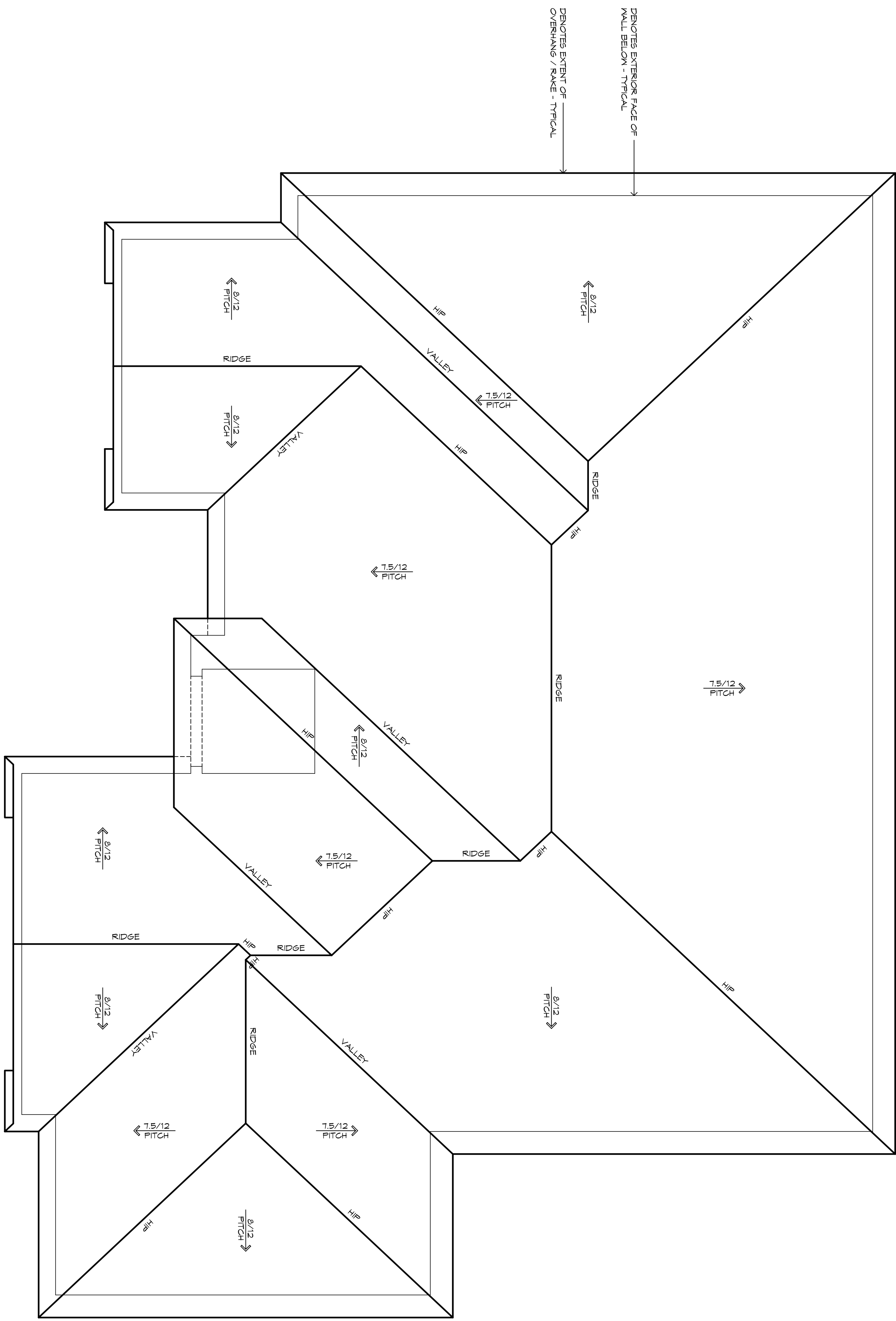
project: **The Preserves - Lot 41 - Lindsay Ranch**  
 St. Clair Township, Michigan  
 client: **Pine Properties**  
 44701 North Gratiot Ave - Clinton Township, Michigan 48036

copyright 2017  
 all rights reserved  
 the drawing room

- Preliminary
- Site
- Permits
- Construction

job no: TDR-17018  
 issued: 05 June 2017 - Blis  
 12 June 2017 - Revised

drawn by: GSK  
 checked by: GOD  
 sheet no:



**ROOF PLAN**

1/4" = 1'-0"